

TOWN OF ACTON
HISTORIC DISTRICT COMMISSION
472 Main Street, Acton, MA 01720

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2025 DEC 23 AM 8:24

CERTIFICATE 2433
12/22/2025 AMENDMENT
to address framing errors that resulted in the project
appearance being inconsistent with the original approval

Pursuant to Chapter 40C of the General Laws of Massachusetts and the Historic Districts Bylaw of the Town of Acton, the Acton Historic District Commission hereby issues a

CERTIFICATE OF APPROPRIATENESS
For the work described in the Application of the same number.

Applicant (or owner) Marcos de Souza via Jozokos Architecture Inc

Telephone 978-660-6888

Address 82 River Street, Acton, MA Email srimmusa15@hotmail.com

Location of Work 82 River Street, Acton District: Center West South X

Description of Proposed work: A 2-car garage and ADU Addition to the existing cape style single family home per the submitted plans, elevations and material lists per the Architect /applicant which are an integral part of this COA and are attached.

Construction Drawings submitted for approval are dated 2024.12.12 and Addition and Renovation to the DeSouza Residence_ Sheets:1/9; 2/9;3/9;4/9;5/9;6/9;7/9;8/9;9/9; Casing Details sheet. Exterior Materials Selections including Marvin Elevate windows installed with pre-assembled casing surrounds that obscure the clad frame and provide traditional wood casing and sill details that match the existing home.

Findings, conditions, requirements, recommendations:

Findings:

1. The governing way is River Street. The street Front, and the Left and Right sides of the proposed project will be visible from River St.
2. The general design, proportions, materials, and details as drawn and specified are appropriate to the existing structure and to other buildings in the vicinity without presenting a false sense of historical development.
3. The Commission will assume that all materials and finishes will be as submitted but is amenable to discussing possible changes to the selected materials should the need arise.

Requirements (changes or additions to the plans presented):

1. Newly purchased Exterior Light fixture selections should be submitted to the HDC for approval before installation.
2. The typical roof material will be asphalt shingles to match the existing. Architectural asphalt shingles are also appropriate.

3. It is assumed that neither new surface-mounted HVAC piping nor new outdoor equipment will be visible from the street, but if so, its placement and screening must be approved by the HDC before installation.

When completed, the work outlined above must conform in all particulars to the Application approved on December 10, 2024. The applicant may proceed with the proposed work provided all other approvals have been obtained, including a Building Permit. This Certificate is valid for work commenced within one year of the date of issuance. An extension or renewal of the Certificate may be granted at the discretion of the commission. If a property changes ownership during the time the Certificate is in force, a new owner who wishes to continue the authorized work must apply to have a new Certificate issued in his or her own name.

Application received September 11, 2024 Date of Public Hearing 12/10/2024

Certificate approved by Anita L Rogers Date December 16, 2024
for Historic District Commission

**NEW DRAWINGS WERE RECEIVED ON 12/18/2025 AND ARE ATTACHED
also ATTACHED ARE REDLINE NOTES DATED 12/22/2025**

It will be necessary to remove the existing roof framing on the breezeway of this project to frame it per these revised drawings. The Architect should supervise the framing to ensure that the new framing is consistent with these drawing revisions and the attached redline notes to be acceptable to HDC.

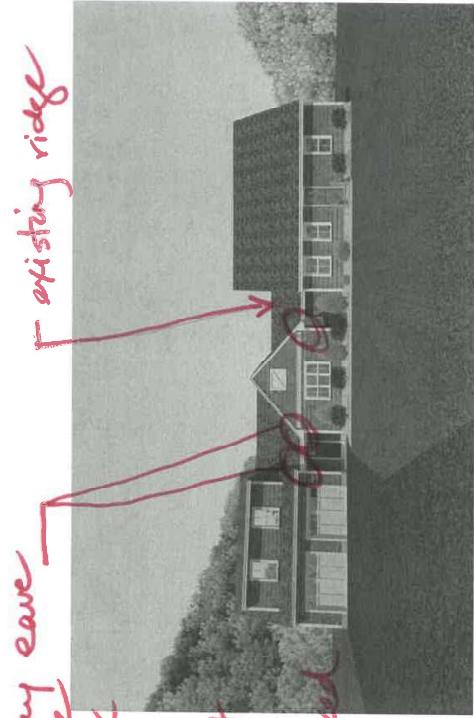
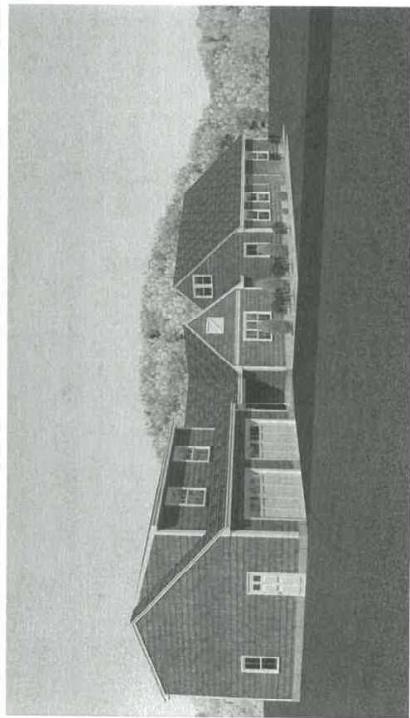
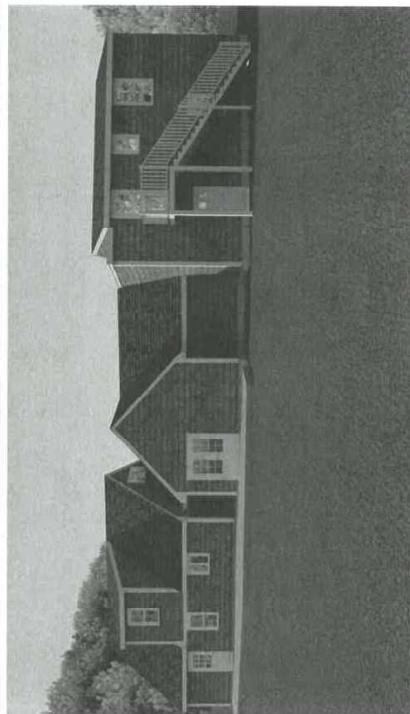
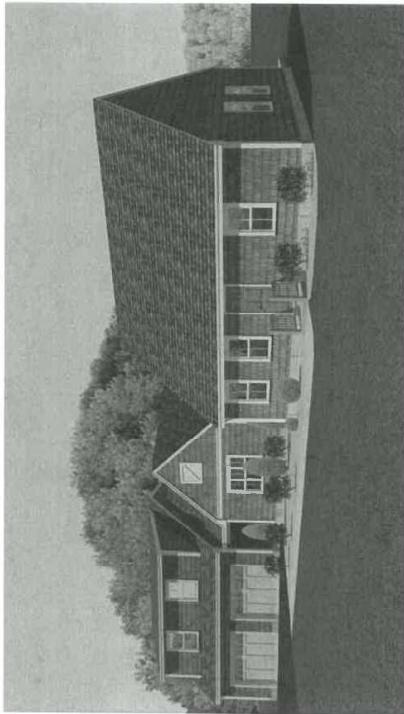
Date of HDC vote for amendment revisions December 9, 2025

Amended Certificate dated December 22, 2025, and approved by Anita L Rogers
for the Historic District Commission

Approval is based on drawing revisions provided by Jozokos Architects dated 12.18.2025 and redlined notes of these drawings per the HDC dated 12/22/2025.

Copies to: Applicant, Building Commissioner, Town Clerk, HDC File

Project No.:	22088	Title:	RENDERINGS	
Date:	December 18, 2025	Project:	ADDITION AND RENOVATION TO THE DESOUZA RESIDENCE	
Copyright © Zokos Architecture, Inc. All rights reserved.		<p>82 RIVER STREET ACTON, MASSACHUSETTS 1147 Main Street #115, Tewksbury, MA (978) 985-1813 jzokos@comcast.net</p> <p>Drawn By: SD Checked By: JJ</p> <p>Comments: This technical drawing illustrates the proposed addition and renovation to the Desouza residence. The addition will be a two-story structure with a gabled roof, featuring large windows and a balcony. The renovation will include updates to the exterior and interior spaces. The drawing is to be used for permitting and future reference.</p>		

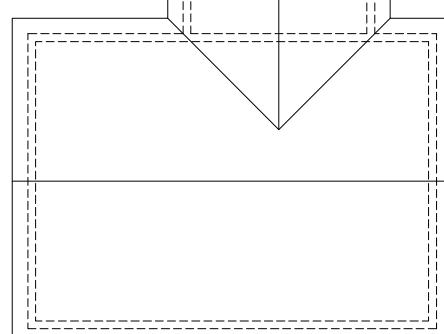
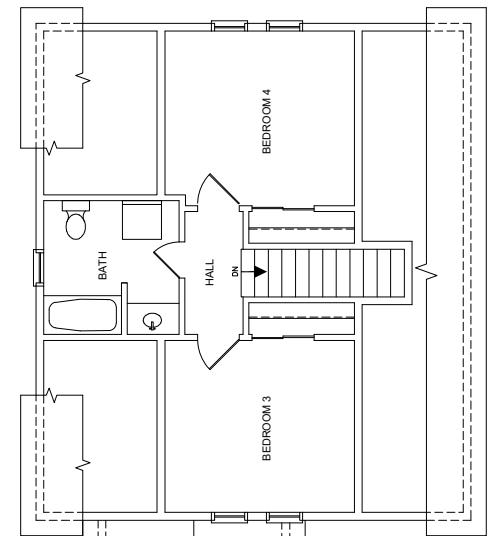
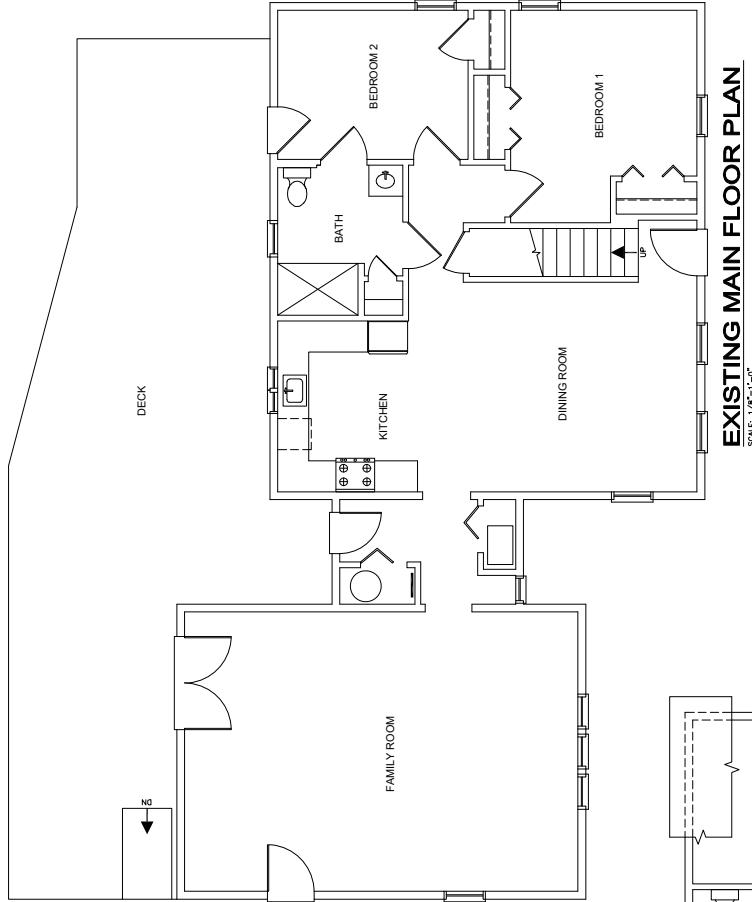


existing ridge

Breezeway eave must be set back enough on both sides that the gutters are received by the walls of both the old and new garage

1/22/25 Redline
3 of 3.

<p>Project No.: 22088</p> <p>Project: ADDITION AND RENOVATION</p> <p>Date: December 18, 2025</p> <p>Copy right © Jozokos Architecture, Inc.</p> <p>Architect: Jozokos Architecture, Inc.</p> <p>Address: 82 RIVER STREET</p> <p>City: ACTON, MASSACHUSETTS</p> <p>Zip Code: 01720</p> <p>Phone: (978) 985-1813</p> <p>E-mail: jozokos@comcast.net</p>		<p>jozokos Architecture Inc. 117 Main Street #115, Tewksbury, MA 01876</p> <p>By James Jozokos, Architect Any and all dimensions and areas are approximate. The dimensions or distances indicated on this plan are not to be relied upon. The dimensions or distances indicated on this plan are not to be relied upon.</p> <p>Drawn By: SD</p> <p>Checked By: JJ</p>	
<p>EXISTING FLOOR PLANS</p> <p>TO THE DESOUZA RESIDENCE</p> <p>82 RIVER STREET</p> <p>ACTON, MASSACHUSETTS</p>			
<p>Title: EXISTING MAIN FLOOR PLAN</p>			
<p>SCALE: 1/8"=1'-0"</p>			



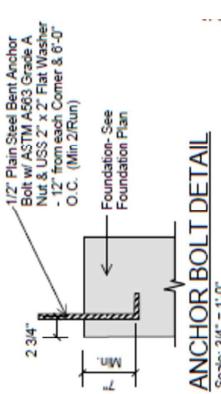
EXISTING SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

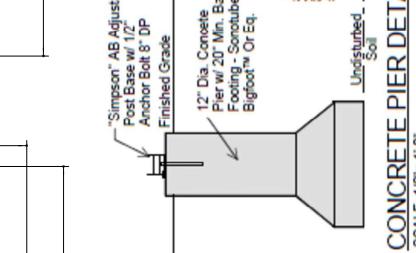
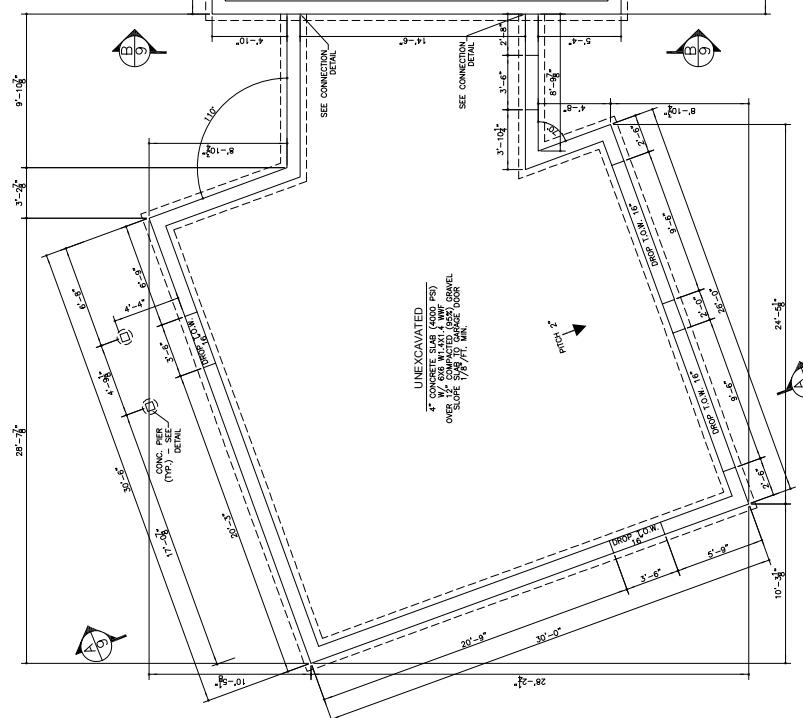
Sheet: 2 11



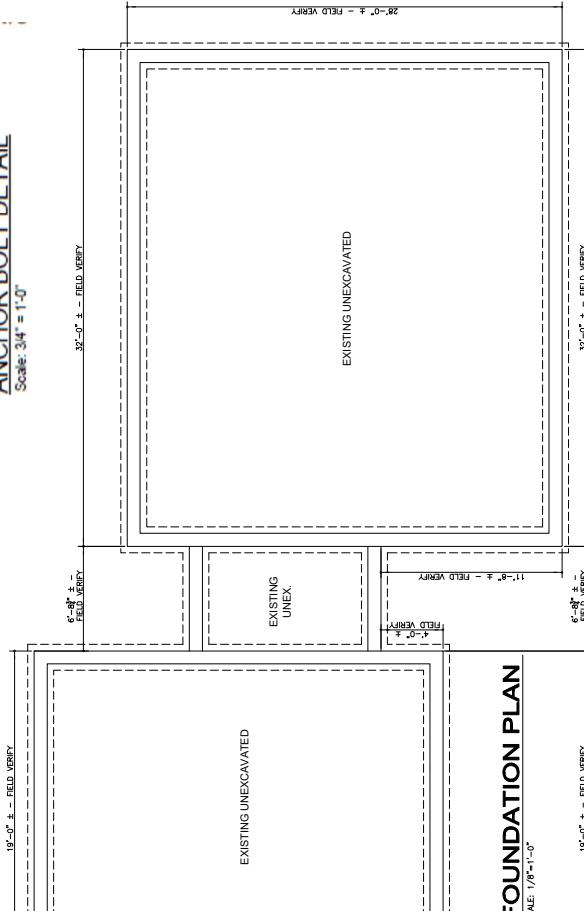
Project No.:	22088	Project:	FOUNDATION PLAN ADDITION AND RENOVATION	Address:	1147 Main Street #115, Tewksbury, MA 01878
Date:	December 18, 2025	Copy to:	Zokos Architecture Inc.	Check by:	JJ
Comments: As-built dimensions shall be used for field verification. Any and all measurements shall be made to the nearest 1/8". All dimensions and elevations are to be read from the exterior side of the building. This document is for reference purposes only. The original document is located in the building's records.			Zokos Architecture Inc. 1147 Main Street #115, Tewksbury, MA 01878 985-1813 jzokos@comcast.net		
Title: FOUNDATION PLAN TO THE DESOUZA RESIDENCE ADDITION AND RENOVATION			Title: NOTES & DETAILS		
Drawn By: SD			Checked By: JJ		



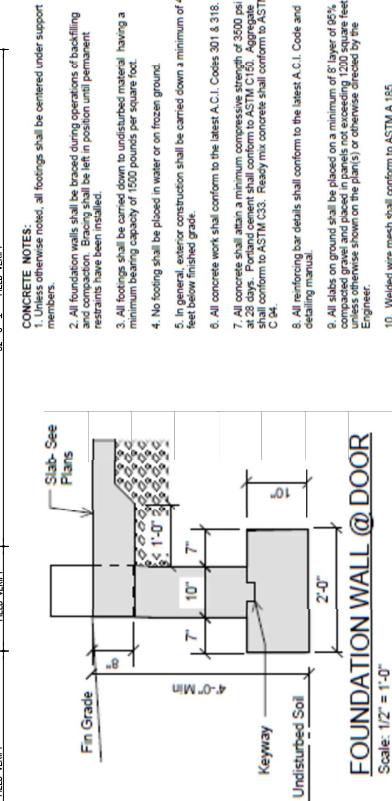
ANCHOR BOLT DETAIL
Scale: 34" = 1'-0"



CONCRETE PIER DETAIL
Scale: 1/2" = 1'-0"



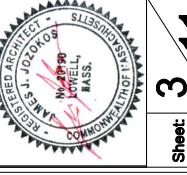
FOUNDATION PLAN
Scale: 1/8" = 1'-0"



FOUNDATION WALL @ DOOR
Scale: 1/2" = 1'-0"

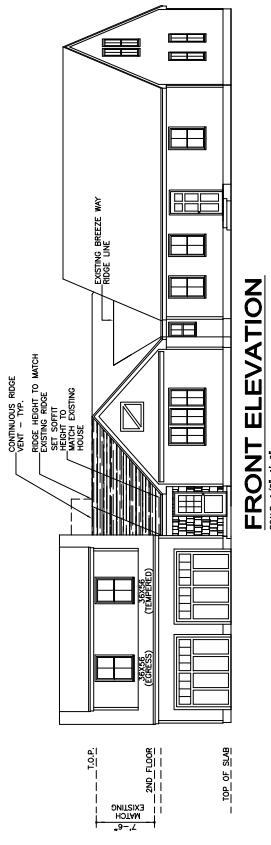
CONCRETE NOTES:

1. Unless otherwise noted, all footings shall be centered under support members.
2. All foundation walls shall be braced during operations of backfilling and compaction. Bracing shall be left in position until permanent restraints have been installed.
3. All footings shall be carried down to undisturbed material having a minimum bearing capacity of 1500 pounds per square foot.
4. No footing shall be placed in water or on frozen ground.
5. In general, exterior construction shall be carried down a minimum of 4 feet below finished grade.
6. All concrete work shall conform to the latest A.C.I. Codes 301 & 318.
7. All concrete shall attain a minimum compressive strength of 3500 psi at 28 days. Portland cement shall conform to ASTM C1. Aggregate shall conform to ASTM C3.
8. All reinforcing bar details shall conform to the latest A.C.I. Code and detailing manual.
9. All side and end of grade shall be placed at a minimum of 80 linear feet, connected on grade and placed in panels not exceeding 120 linear feet, unless otherwise shown on the plan(s) or otherwise directed by the Engineer.
10. Welded wire mesh shall conform to ASTM A 195.

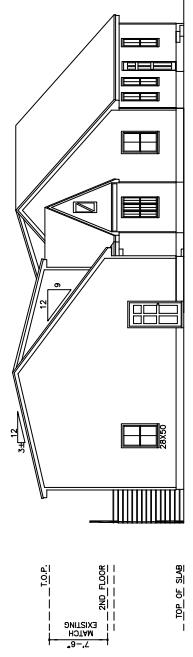


Sheet: 3 11

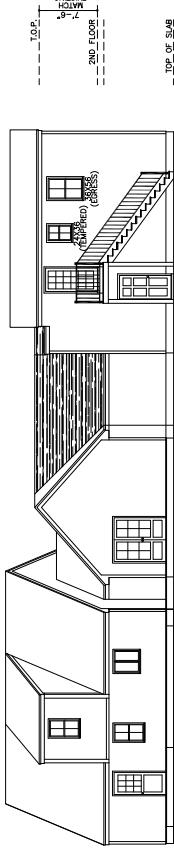
Project No.:	22088		NOTES & DETAILS		ELEVATIONS ADDITION AND RENOVATION TO THE DESOUZA RESIDENCE		Title:		
	December 18, 2025		Details:		Copysign © Zokos Architecture, Inc.		Zokos Architecture Inc. 147 Main Street #115, Tewksbury, MA (978) 985-1813 zokos@comcast.net		
82 RIVER STREET ACTON, MASSACHUSETTS		Drawn By:		SD		Checked By:		JJ	
ACTON, MASSACHUSETTS		By Name:		Zokos Architecture, Inc.		Comments:		Comments: This drawing is for the sole use of Zokos Architecture, Inc. and is the property of Zokos Architecture, Inc. It is to be returned to Zokos Architecture, Inc. upon completion of the project or upon request. It is not to be reproduced in whole or in part without the written consent of Zokos Architecture, Inc.	



FRONT ELEVATION



LEFT ELEVATION SCALE: 1/8"=1'-0"



REAR ELEVATION

EL E V A T I O N S N O T E S & D E T A I L S

A circular registration stamp for James J. Jozokos, Registered Architect. The text "REGISTERED ARCHITECT" is at the top, "NAME J. JOZOKOS" is in the center, "No. 20198" is to the right, "LOWELL" is below it, "MASS." is to the right, and "COMM." is at the bottom.

Sheet 6
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shows:

DIVISION NOTE

PAINTED / STAINED CEDAR SIDING

1. All Cedar Siding shall be quality Western Red Cedar siding, manufactured by members of the Western Red Cedar Lumber Association (WRCA).
2. Cedar Siding shall be "clear grade" level siding, unless otherwise noted.
3. When Cedar siding is to be painted, it must be painted with a clear sealant.
4. Insulation shall be the same as the siding in accordance with the WRCA publication "Installing Cedar Siding".
5. Wall Preparation: Walls shall have a code approved moisture barrier. Double wrap inside and outside corners with moisture barrier.
6. Nailing: Use Wood brand #R-107-A 2.5 inch (galvanized or stainless steel) approved equal, ring shank nail, every stud. Use a 16 gauge, 1 1/2" long, flat head, pointed drive nail, flush with the wood. Acceptable are wire or stainless steel or hot-dipped galvanized nails, minimum size 1/2" x 1/8" x 1/2".
7. Installation: In accordance with the manufacturer's instructions, products shall have all butt and scarf joints caulked.
8. Ends exposed due to past manufacturing lead cuts shall be finished with a premium, 100% acrylic primer.
9. All exterior trim shall be quality Western Red Cedar, stained and sealed. Trim boards of 10 inches or greater, in widths of 4", 6", 8", 10", 12", 14", 16", 18", 20", 22", 24", 26", 28", 30", 32", 34", 36", 38", 40", 42", 44", 46", 48", 50", 52", 54", 56", 58", 60", 62", 64", 66", 68", 70", 72", 74", 76", 78", 80", 82", 84", 86", 88", 90", 92", 94", 96", 98", 100", 102", 104", 106", 108", 110", 112", 114", 116", 118", 120", 122", 124", 126", 128", 130", 132", 134", 136", 138", 140", 142", 144", 146", 148", 150", 152", 154", 156", 158", 160", 162", 164", 166", 168", 170", 172", 174", 176", 178", 180", 182", 184", 186", 188", 190", 192", 194", 196", 198", 200", 202", 204", 206", 208", 210", 212", 214", 216", 218", 220", 222", 224", 226", 228", 230", 232", 234", 236", 238", 240", 242", 244", 246", 248", 250", 252", 254", 256", 258", 260", 262", 264", 266", 268", 270", 272", 274", 276", 278", 280", 282", 284", 286", 288", 290", 292", 294", 296", 298", 300", 302", 304", 306", 308", 310", 312", 314", 316", 318", 320", 322", 324", 326", 328", 330", 332", 334", 336", 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FRONT ELEVATION

LEFT ELEVATION SCALE: 1/8"=1'-0"

REAR ELEVATION

NOTES FILE

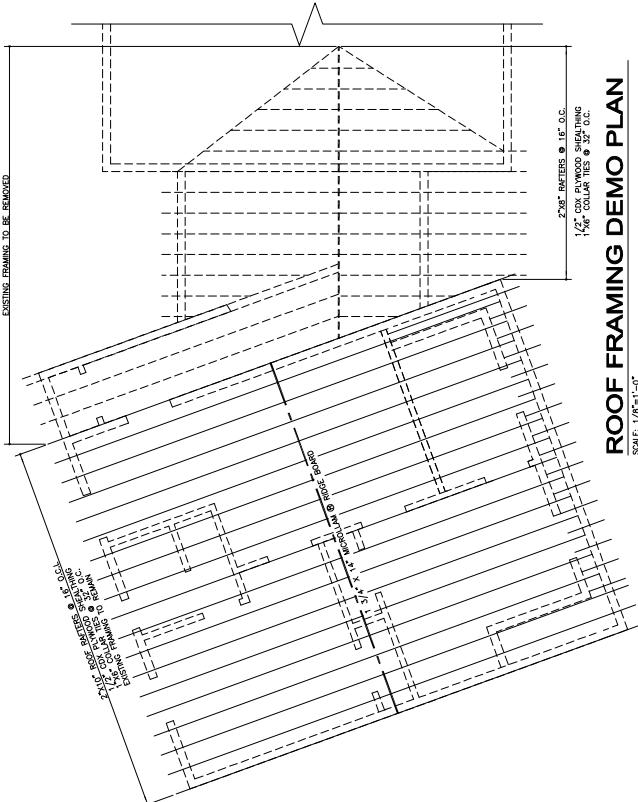
A circular registration stamp for James J. Jozokos, Registered Architect, No. 20198, Lowell, Mass., Comm.

Sheet 11

Project No.:	22088		ATTIC FLOOR/ ROOF DEMO ADDITION AND RENOVATION TO THE DESOUZA RESIDENCE		NOTES & DETAILS		ACTON, MASSACHUSETTS		jozokos Architecture Inc. 147 Main Street #115, Tewksbury, MA (978) 985-1813 jozokos@comcast.net		
	Date:	December 18, 2025	Designs prepared for:	Architectural, Inc.	By:	SD	Drawn By:	SD	Checked By:	JJ	
Comments:		Copies given to jozokos Architecture, Inc.		Comments given to jozokos Architecture, Inc.		Comments given to jozokos Architecture, Inc.		Comments given to jozokos Architecture, Inc.		Comments given to jozokos Architecture, Inc.	
											
Sheet 8 of 11											

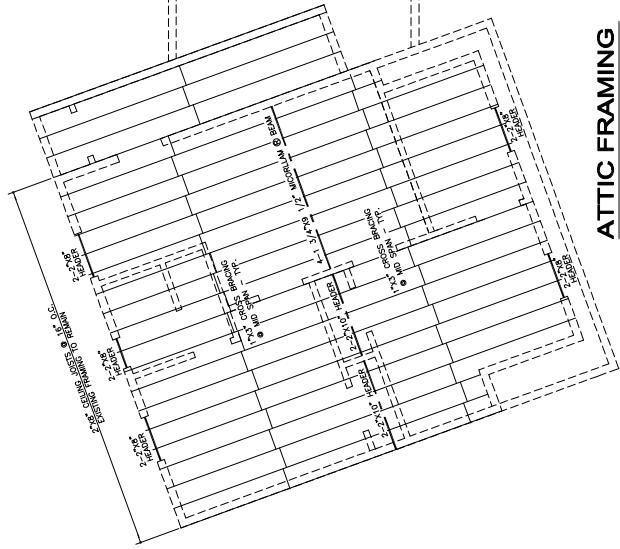
ROOF FRAMING DEMO PLAN

ROOF



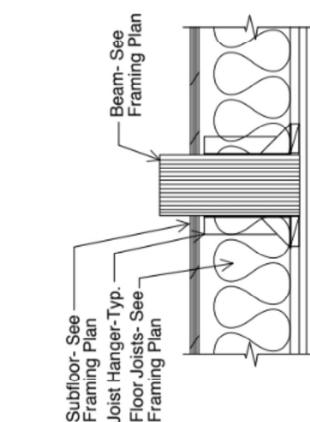
ATTIC FRAMING

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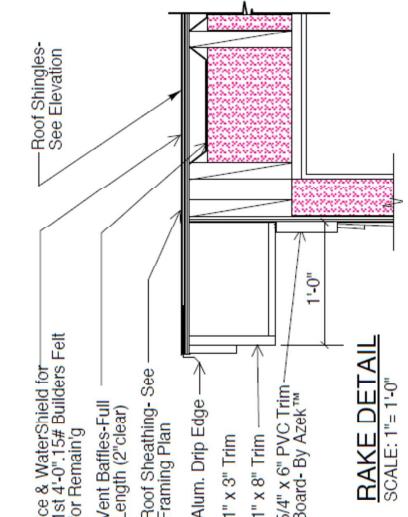
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SCALE: 1"=1'-0"



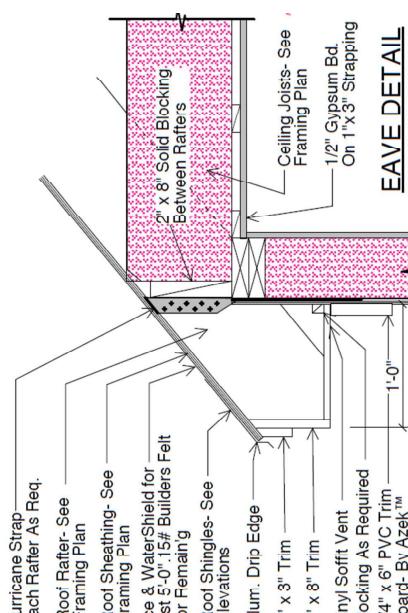
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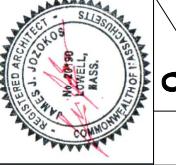
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EAVE DETAIL

EAVE DETAIL



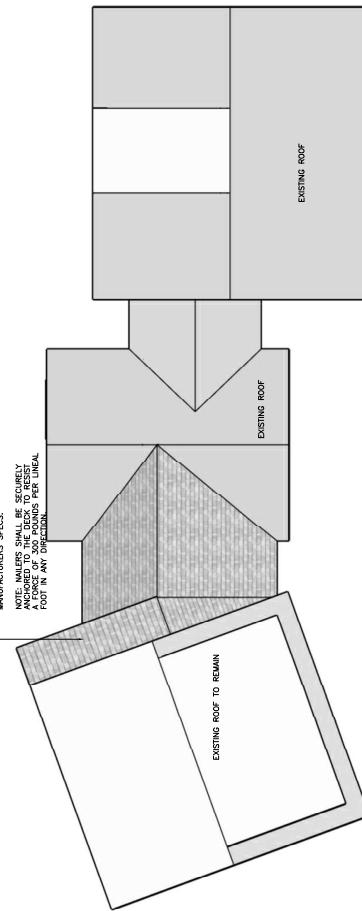
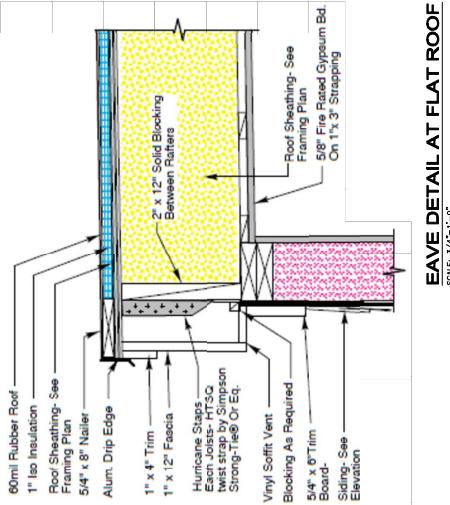


ROOF FRAMING PLATES & NOTES

title:

Sheet: 119

Sheet 6



ROOF PLAN

Project No.: 22088		jozokos Architecture Inc. 1147 Main Street #115, Tewksbury, MA (978) 985-1813 jozokos@comcast.net	
			
		Title: RENDERINGS ADDITION AND RENOVATION TO THE DESOUZA RESIDENCE	
		Project: 82 RIVER STREET	
		ACTON, MASSACHUSETTS	
		By: James Jozokos, Architect Copied to: jozokos Architecture, Inc. Comments: This document shall not be copied or reproduced in any form, in whole or in part, without the prior written permission of the copyright holder. The original document, prepared or otherwise produced, or any copy or reproduction of it, may not be resold or otherwise distributed, nor may it be used as a basis for any other document or drawing.	
		Checked By: JJ	
		Drawn By: SD	
		Date: December 18, 2025	

