

**TOWN OF ACTON
HISTORIC DISTRICT COMMISSION**
472 Main Street, Acton, MA 01720

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TOWN OF ACTON, MA
2025 DEC 23 AM 8:24

**CERTIFICATE 2433
12/22/2025 AMENDMENT
to address framing errors that resulted in the project
appearance being inconsistent with the original approval**

Pursuant to Chapter 40C of the General Laws of Massachusetts and the Historic Districts Bylaw of the Town of Acton, the Acton Historic District Commission hereby issues a

CERTIFICATE OF APPROPRIATENESS

For the work described in the Application of the same number.

Applicant (or owner) Marcos de Souza via Jozokos Architecture Inc

Telephone 978-660-6888

Address 82 River Street, Acton, MA Email srimmusa15@hotmail.com

Location of Work 82 River Street, Acton District: Center ☐ West ☐ South ☒ X

Description of Proposed work: A 2-car garage and ADU Addition to the existing cape style single family home per the submitted plans, elevations and material lists per the Architect / applicant which are an integral part of this COA and are attached.

Construction Drawings submitted for approval are dated 2024.12.12 and Addition and Renovation to the DeSouza Residence_ Sheets:1/9; 2/9;3/9;4/9;5/9;6/9;7/9;8/9;9/9; Casing Details sheet.

Exterior Materials Selections including Marvin Elevate windows installed with pre-assembled casing surrounds that obscure the clad frame and provide traditional wood casing and sill details that match the existing home.

Findings, conditions, requirements, recommendations:

Findings:

1. The governing way is River Street. The street Front, and the Left and Right sides of the proposed project will be visible from River St.
2. The general design, proportions, materials, and details as drawn and specified are appropriate to the existing structure and to other buildings in the vicinity without presenting a false sense of historical development.
3. The Commission will assume that all materials and finishes will be as submitted but is amenable to discussing possible changes to the selected materials should the need arise.

Requirements (changes or additions to the plans presented):

1. Newly purchased Exterior Light fixture selections should be submitted to the HDC for approval before installation.
2. The typical roof material will be asphalt shingles to match the existing. Architectural asphalt shingles are also appropriate.

3. It is assumed that neither new surface-mounted HVAC piping nor new outdoor equipment will be visible from the street, but if so, its placement and screening must be approved by the HDC before installation.

When completed, the work outlined above must conform in all particulars to the Application approved on December 10, 2024. The applicant may proceed with the proposed work provided all other approvals have been obtained, including a Building Permit. This Certificate is valid for work commenced within one year of the date of issuance. An extension or renewal of the Certificate may be granted at the discretion of the commission. If a property changes ownership during the time the Certificate is in force, a new owner who wishes to continue the authorized work must apply to have a new Certificate issued in his or her own name.

Application received September 11, 2024 Date of Public Hearing 12/10/2024

Certificate approved by *Anita L Rogers* Date December 16, 2024
for Historic District Commission

**NEW DRAWINGS WERE RECEIVED ON 12/18/2025 AND ARE ATTACHED
also ATTACHED ARE REDLINE NOTES DATED 12/22/2025**

It will be necessary to remove the existing roof framing on the breezeway of this project to frame it per these revised drawings. The Architect should supervise the framing to ensure that the new framing is consistent with these drawing revisions and the attached redline notes to be acceptable to HDC.

Date of HDC vote for amendment revisions December 9, 2025

**Amended Certificate dated December 22, 2025, and approved by *Anita L Rogers*
for the Historic District Commission**

Approval is based on drawing revisions provided by Jozokos Architects dated 12.18.2025 and redlined notes of these drawings per the HDC dated 12/22/2025.

Copies to: Applicant, Building Commissioner, Town Clerk, HDC File



PVC TRIM NOTES:

1. PVC trim, shall be AZEK® or approved equal, and installed in accordance with the latest manufacturer's written specifications.
2. Extruders shall be extruded cold or hot dipped, primed and long enough to penetrate the substrate a minimum of 1 1/4", and designed for wood trim or wood siding. The trimmers shall have a flatter, sharp, blunt point, and full round head.
3. If using pneumatic tools, use a fastener with a full round head and set the pressure so the fastener goes in without splitting the trim. The trimmer shall be used. These products are designed for use with wood and will not adhere to the substrate or concrete properties.
4. PVC trim shall be installed in accordance with the manufacturer's installation instructions. Do not use silicone on AZEK trim.
5. Fill in all nail holes: Use polyurethane or acrylic based caulk or exterior spackle. Do not use silicone based caulk.
6. If painting PVC trim, nail holes shall be filled with acrylic Bondo. Only use the following products: Devcon's Tronstrong, Extreme Adhesive's Bond and Fill, Acrylic Caulk, Auto Body Bonds, Vinyl Spackle, or plastic wood fillers.
7. Never use PVC products as structural elements.

edge and fastened at a minimum of every 24 inches on center.

pf 22/25 Redlines 1 of 3

1. All windows shall be Andersen R 400 series Woodright Windows or Eq.

- [illegible]

Project No.: 22088

Date: December 18, 2025

Drawn By: SD

Checked By: JJ

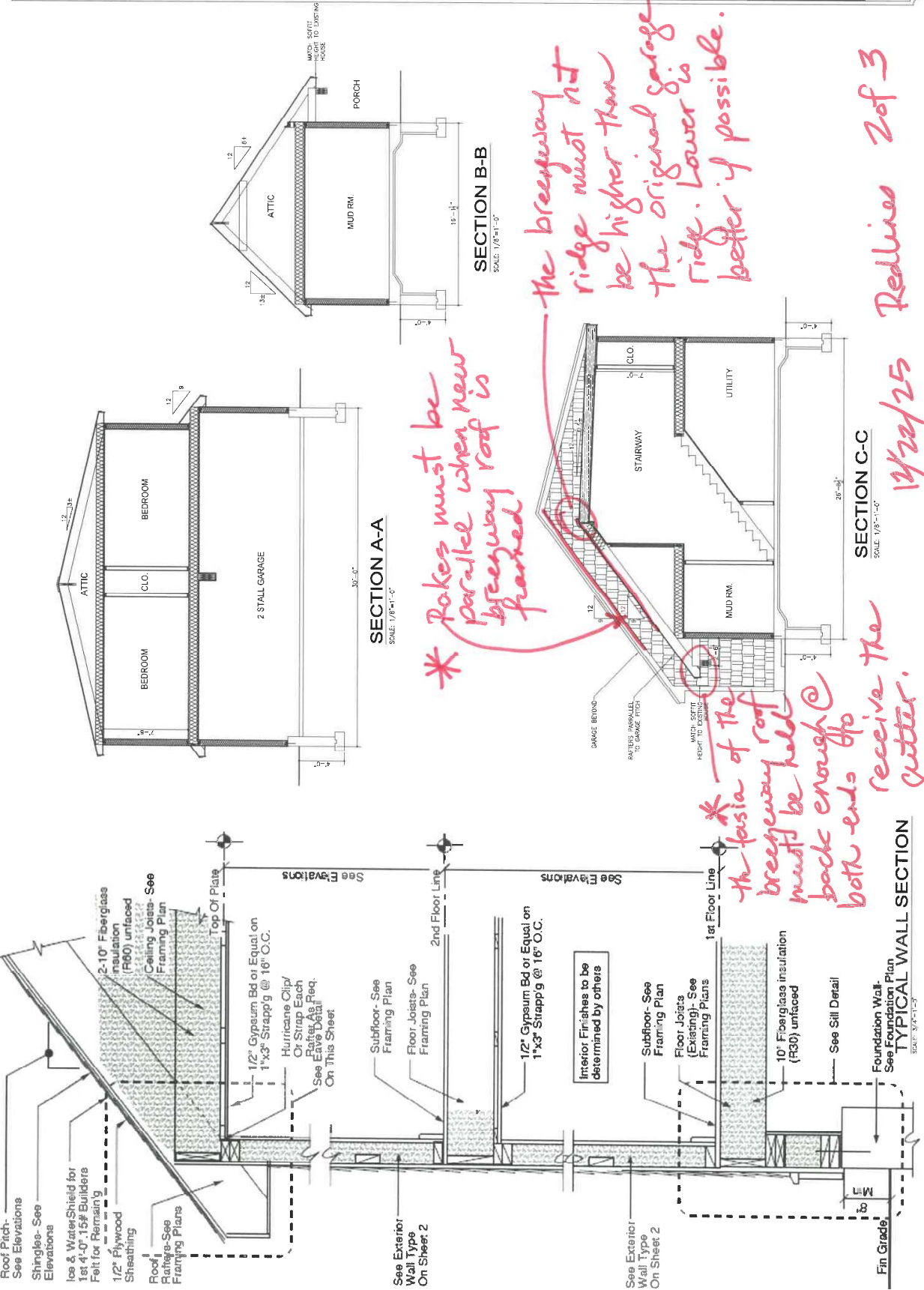
Jozokos Architecture Inc. 1147 Main Street #15, Tewksbury, MA (978) 985-1813
 jozokos@comcast.net

Project:

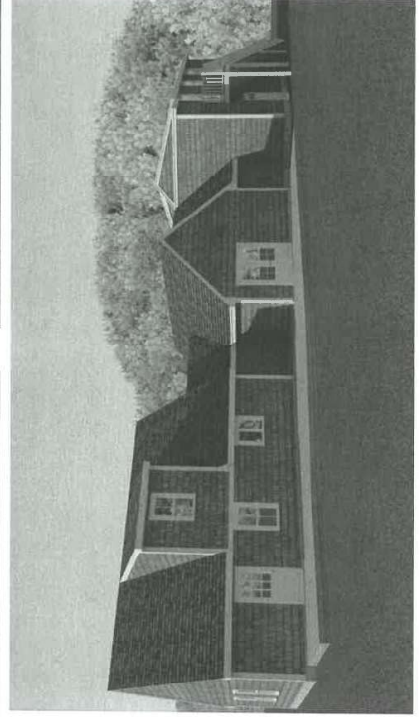
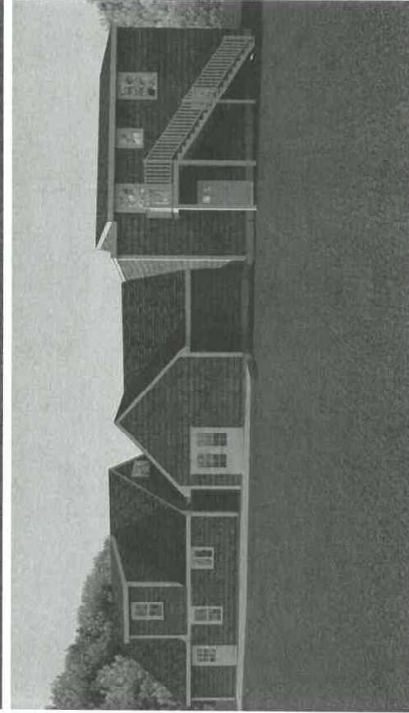
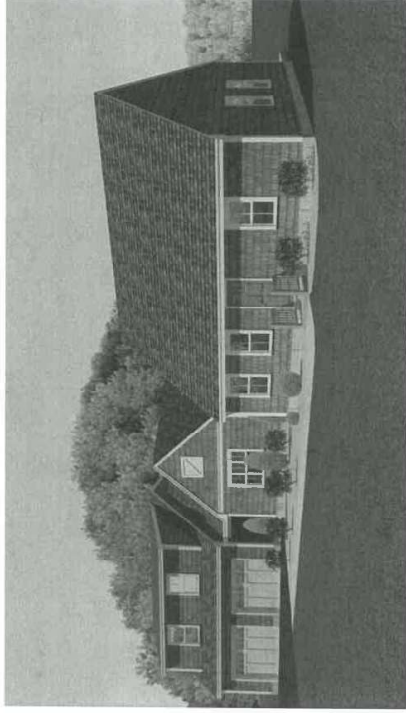
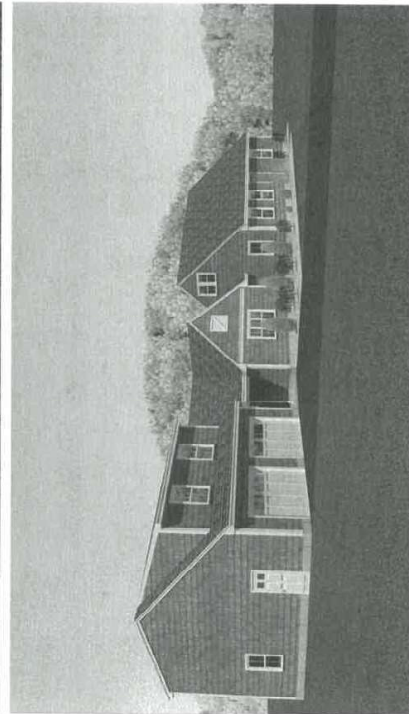
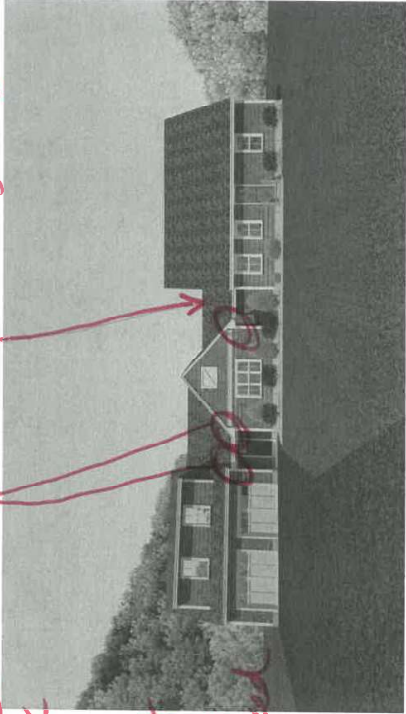
BUILDING SECTIONS
 ADDITION AND RENOVATION
 TO THE DE SOUZA RESIDENCE
 82 RIVER STREET
 ACTON, MASSACHUSETTS

REGISTERED ARCHITECT
 J. JOZOKOS
 NO. 10000
 BOSTON, MASS.

SHEET
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Breeway eave
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 set back
 enough
 on both
 sides that
 the gutters
 are received
 by the
 valleys of
 both the
 old and
 new
 garages



12/22/25 Redline
 3 of 3.

Project No.: 22088		Date: December 18, 2025		Drawn By: SD		Checked By: JJ		Jozokos Architecture Inc. 1147 Main Street #115, Tewksbury, MA (978) 985-1813 jozokos@comcast.net	
Title: RENDERINGS		Project: ADDITION AND RENOVATION TO THE DE SOUZA RESIDENCE 82 RIVER STREET ACTON, MASSACHUSETTS		Copyright © Jozokos Architecture, Inc. All rights reserved. For the Architectural Works Copyright Protection Act of 1992, this document shall not be copied, duplicated, republished or otherwise reproduced in any form whatsoever without the prior written permission of Jozokos Architecture, Inc. This document is not to be shared unless agreed & sealed by James J. Jozokos, Architect.					
Sheet: 1111									

Project No.: 22088

Project: ADDITION AND RENOVATION TO THE DESOUZA RESIDENCE 82 RIVER STREET ACTON, MASSACHUSETTS

Title: EXISTING FLOOR PLANS

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Checked By: JJ

Drawn By: SD

Date: December 18, 2025

SEAL OF THE ARCHITECT

James J. Jozokos

Architect

MASSACHUSETTS

REGISTERED ARCHITECT

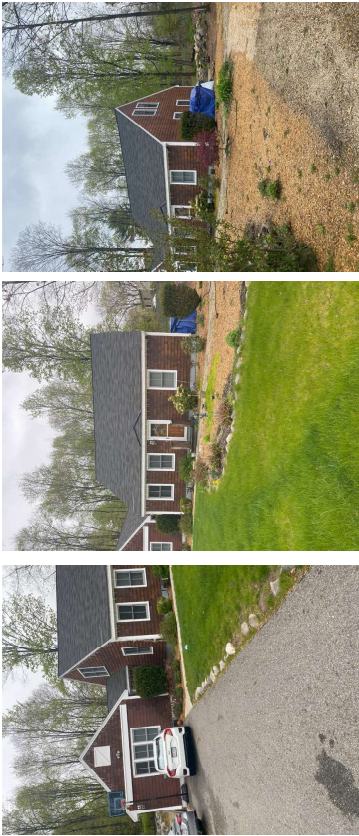
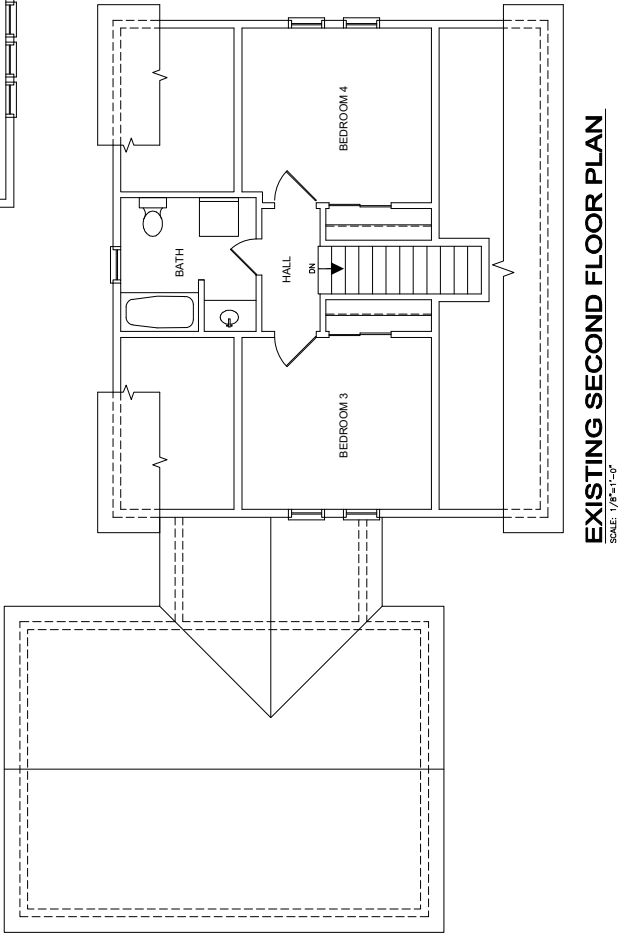
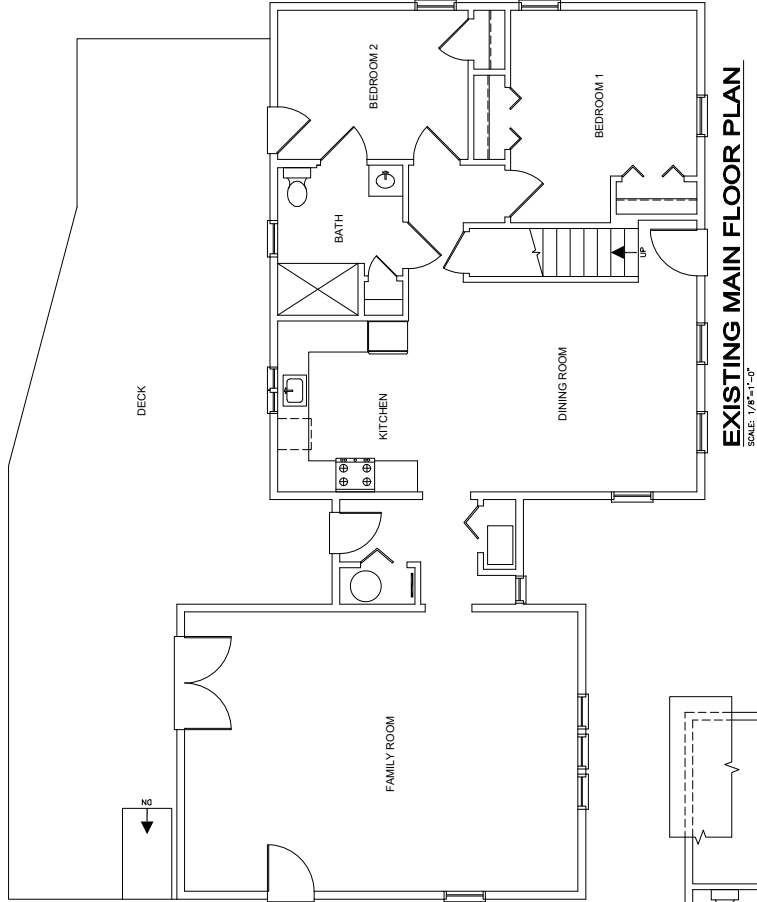
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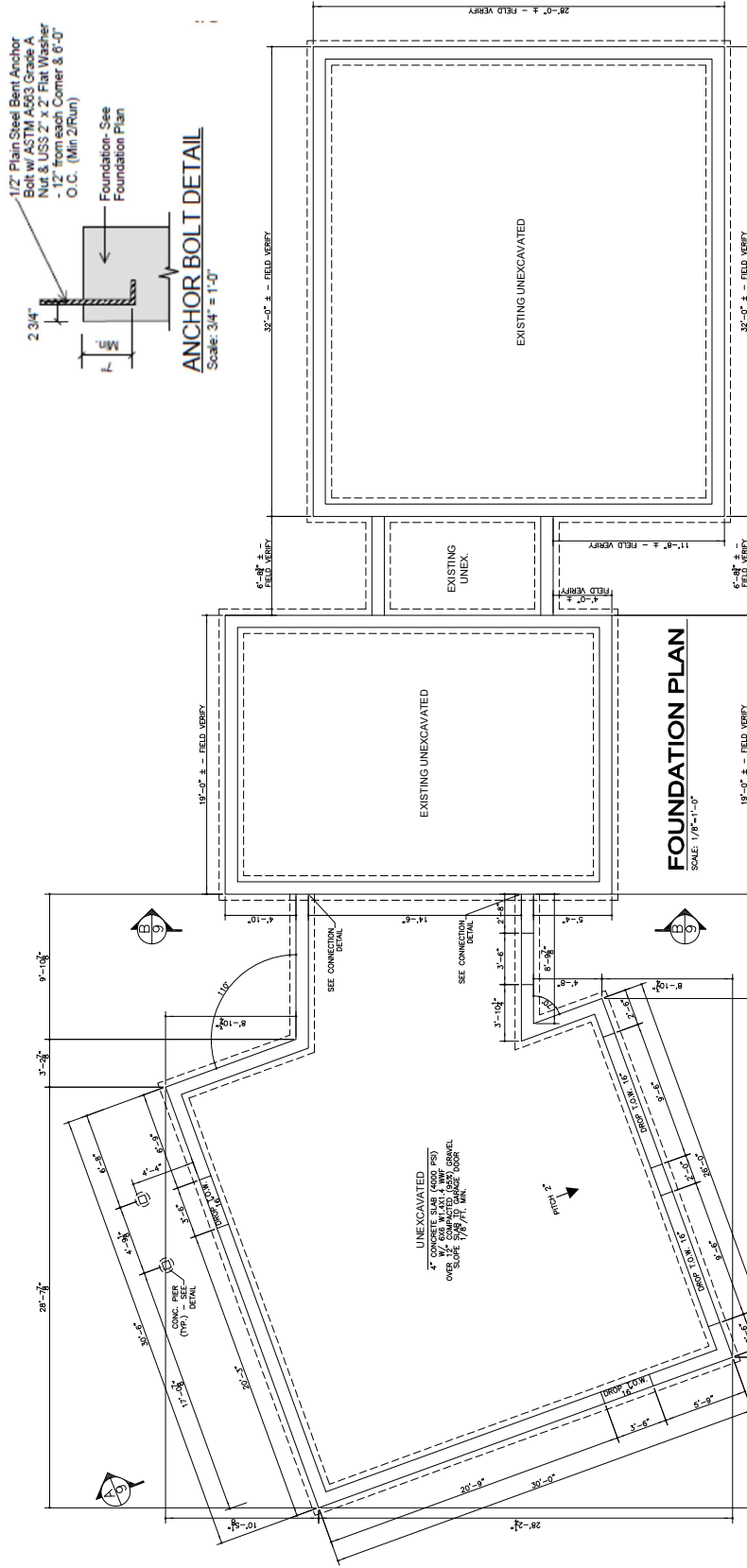
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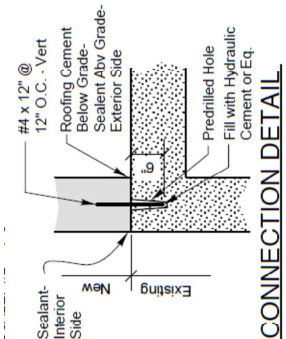
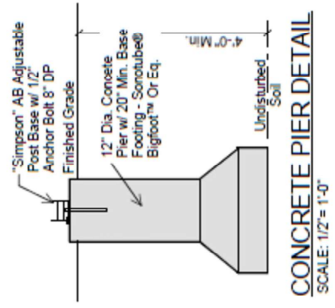
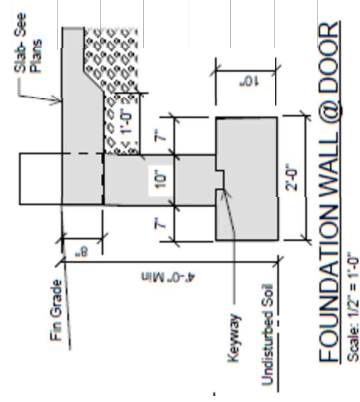
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CONCRETE NOTES:

1. Unless otherwise noted, all footings shall be oriented under support members.
2. All foundation walls shall be braced during operations of backfilling and compaction. Bracing shall be left in position until permanent restraints have been installed.
3. All footings shall be carried down to undisturbed material, having a minimum bearing capacity of 1500 pounds per square foot.
4. No footing shall be placed in water or on frozen ground.
5. In general, exterior construction shall be carried down a minimum of 4 feet below finished grade.
6. All concrete work shall conform to the latest A.C.I. Codes 301 & 318.
7. All concrete shall attain a minimum compressive strength of 3000 psi at 28 days. All concrete shall be tested in accordance with ASTM C318. All concrete shall conform to ASTM C933. Ready mix concrete shall conform to ASTM C94.
8. All reinforcing bar details shall conform to the latest A.C.I. Code and detailing manual.
9. All slabs or ground shall be placed on a minimum of 2" layer of 20% compacted gravel and placed in panels not exceeding 1200 square feet, unless otherwise shown on the plan(s) or otherwise directed by the Engineer.
10. Welded wire mesh shall conform to ASTM A 185.



Project No.:
22088

Project:
**ADDITION AND RENOVATION
TO THE DESOUZA RESIDENCE
82 RIVER STREET
ACTON, MASSACHUSETTS**

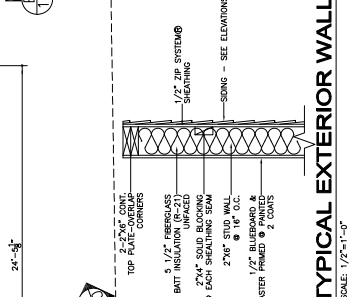
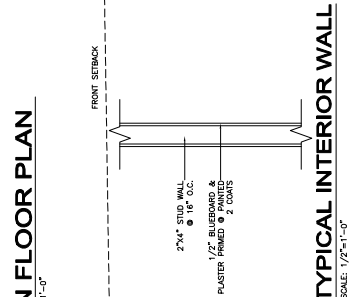
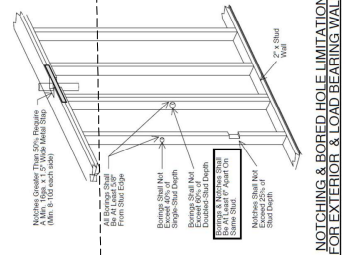
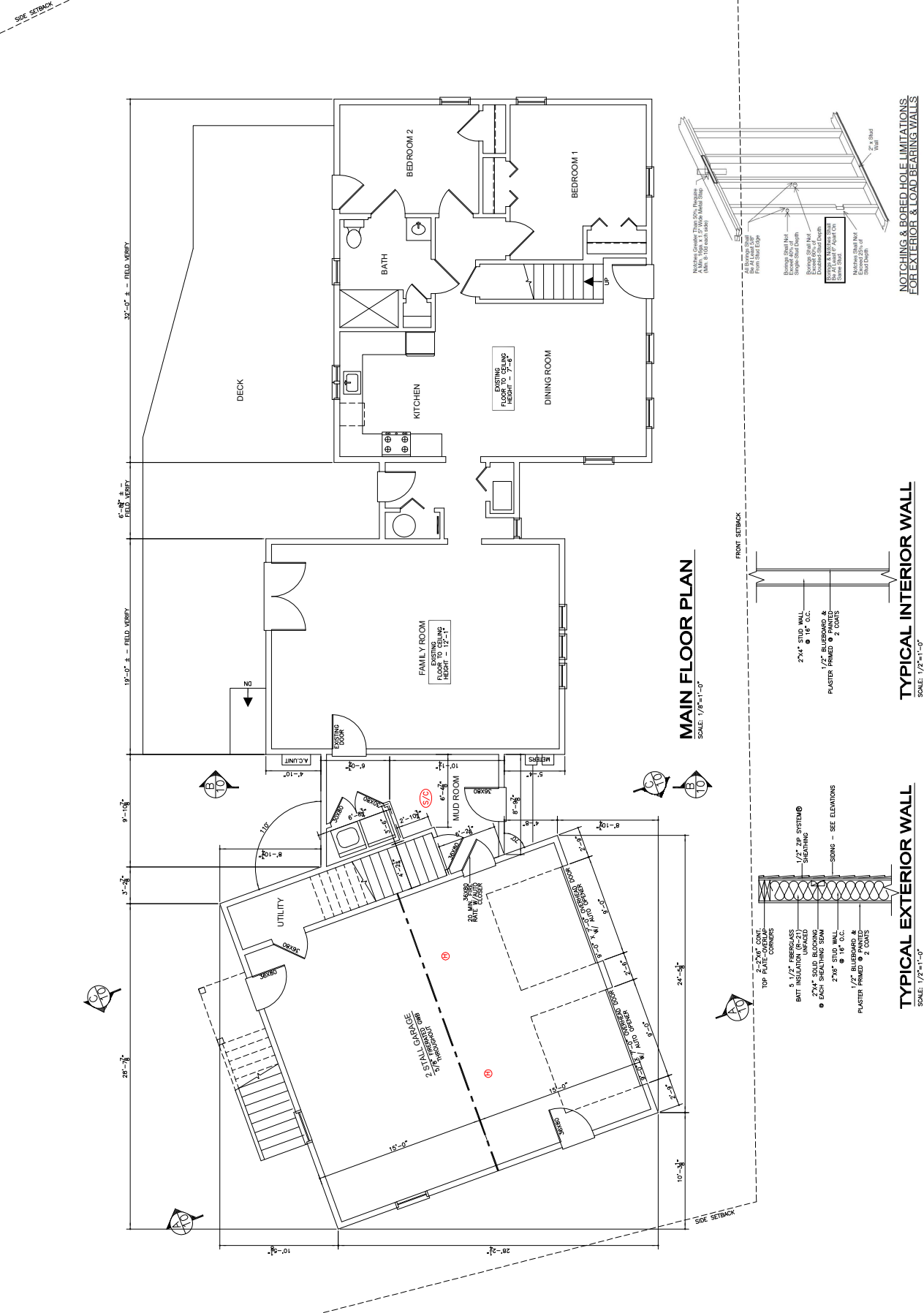
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**MAIN FLOOR PLAN
NOTES & DETAILS**

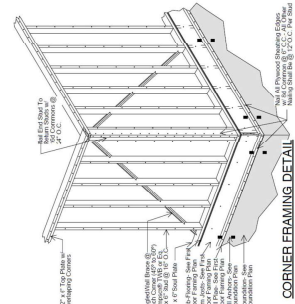
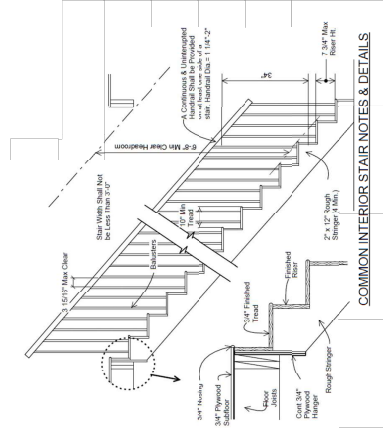
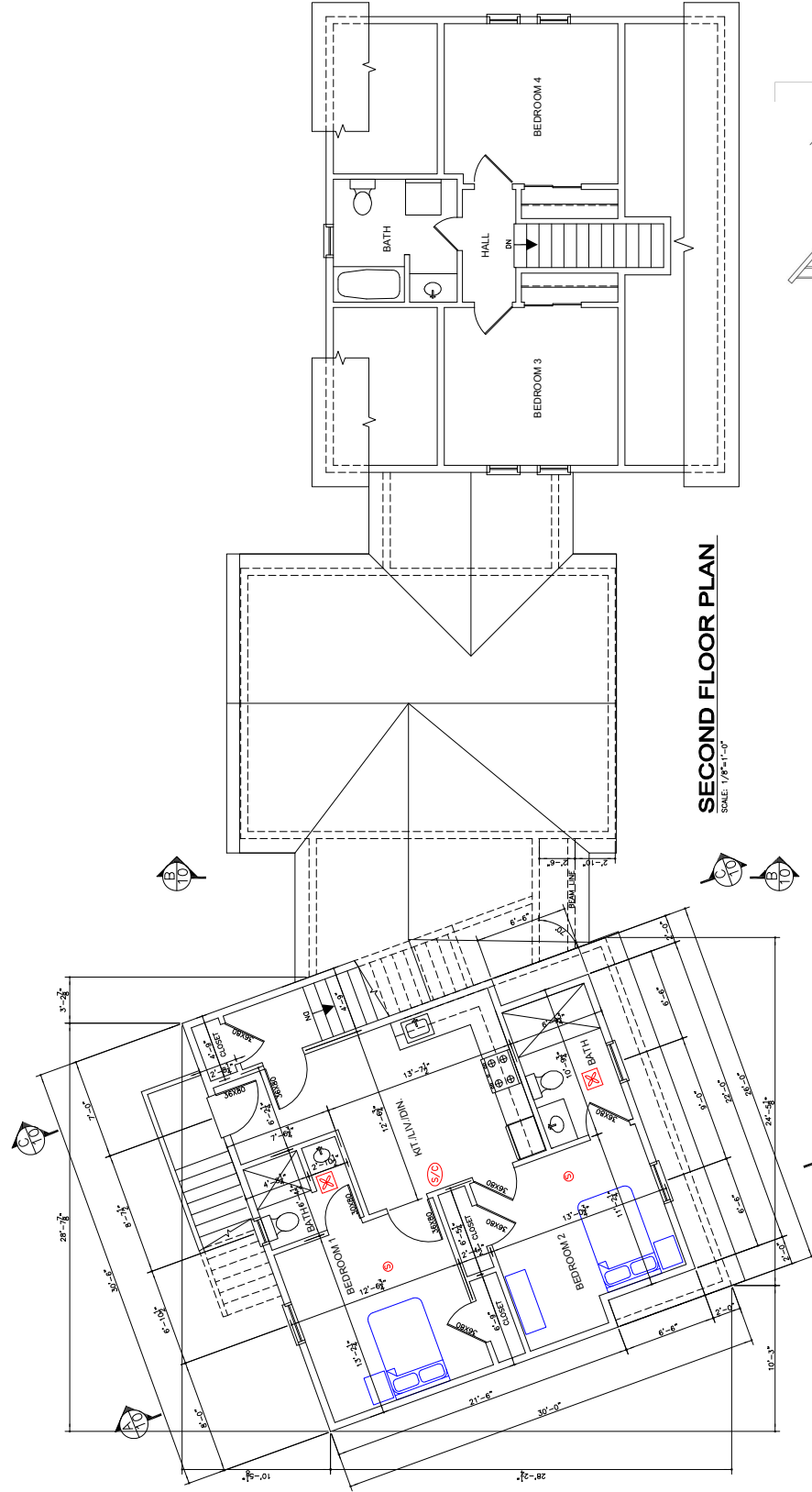
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Checked By: **JJ**
Drawn By: **SD**
Date: **December 18, 2025**

Sheet:
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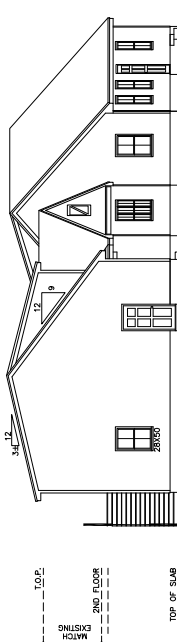




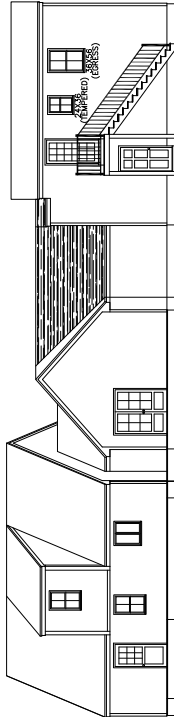
1. All windows shall be Andersen R 400 series Woodright

- CONTINUOUS RIDGE
VENT - TYP.

SCALE: 1/8"=1'-0"



SCALE: 1/8"=1'-0"



SCALE: 1/8"=1'-0"

1. PVC trim, shall be AZEK® or approved equal, and installed in accordance with the latest manufacturer's written specifications.
2. Fasteners shall be stainless steel or hot dipped galvanized and long enough to penetrate the substrate a minimum of 1 1/4", and designed for wood trim or wood siding. The fasteners shall have a thinner, shank, blunt point, and full round head.
3. If using pneumatic tools, use a fastener with a full round head and set the pressure so the fastener goes just beneath the surface of the board. Staples, brads, and wire nails should never be used. These products have shanks that are too small in diameter to control the thermal expansion and contraction properties of AZEK trim.
4. Fill in all trim holes. Use polyurethane or acrylic based caulk or exterior spackle. Do not use silicone.
5. If spackling PVC trim, fill holes shall be filled with acrylic Spackle. Only use the following products: Dapcon's Trimborder, Extreme Adhesives's Bond and Fill, Acrylic Caulk, Auto Body Bonds, Vinyl Spackle, or plastic wood fillers.
6. Never use spackles as structural elements.

1. All Cedar Siding shall be quality Western Red Cedar siding, manufactured by members of the Western Red Cedar Lumber Association (WCLA).
2. All Cedar Siding shall be "clear grade" wood, unless otherwise noted.
3. When Cedar Siding is to be painted, WCLA finger-jointed bead siding in clear grade (V.G.) are acceptable.
4. When Cedar Siding is to be stained, it must be the siding in accordance with the latest copy of the WCLA publication entitled "Cedar Siding."
5. Wall Preparation: Walls shall have a good approved moisture barrier. Type R or equal, directly behind the cedar. Double wall inside and outside corners with moisture barrier.
6. Nailing: Use Maze brand #8-107-A 2.5 inch (galvanized or stainless steel) to approved equal, ring shank nails spaced at 16 inches vertically and 12 inches horizontally on end grain lumber. The product manufacturer's recommended nailing schedule must be followed. No nail splitting is allowed. The product manufacturer's recommended corrosion resistant fasteners. Acceptable are stainless steel or hot-dipped galvanized nails; minimum size .0375 inch diameter.
7. Install in accordance with the manufacturer's instructions. Products shall have all butt and ward joints caulked with a quality, exterior rated, flexible caulk prior to paint application. All non-trim/facia abutments shall be caulked and sealed with the same exterior grade caulk.
8. To ensure that no fastener is left exposed to the elements, products shall be installed with a premium, 100% acrylic primer.
9. Joints shall fall over framing underlayment and be double nailed. Trim boards of 10 inches or greater in width shall be double nailed. End grain shall not nail any less than 24 inches from center.
10. Edge and fastened at a minimum of every 24 inches on center.

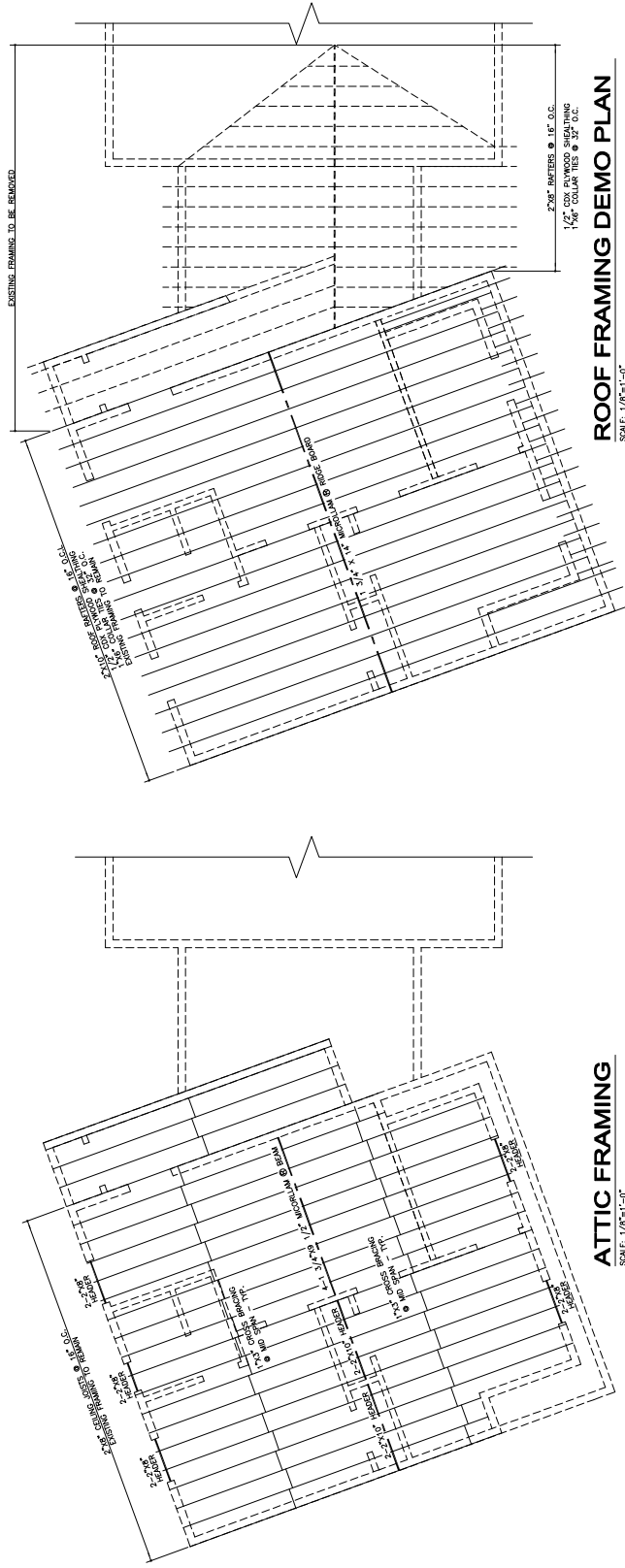
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Project: ADDITION AND RENOVATION
TO THE DESOZA RESIDENCE
82 RIVER STREET
ACTON, MASSACHUSETTS
1147 Main Street #115, Tewksbury, MA

File: **ELEVATIONS**
NOTES & DETAILS
Jozokos Architecture Inc.



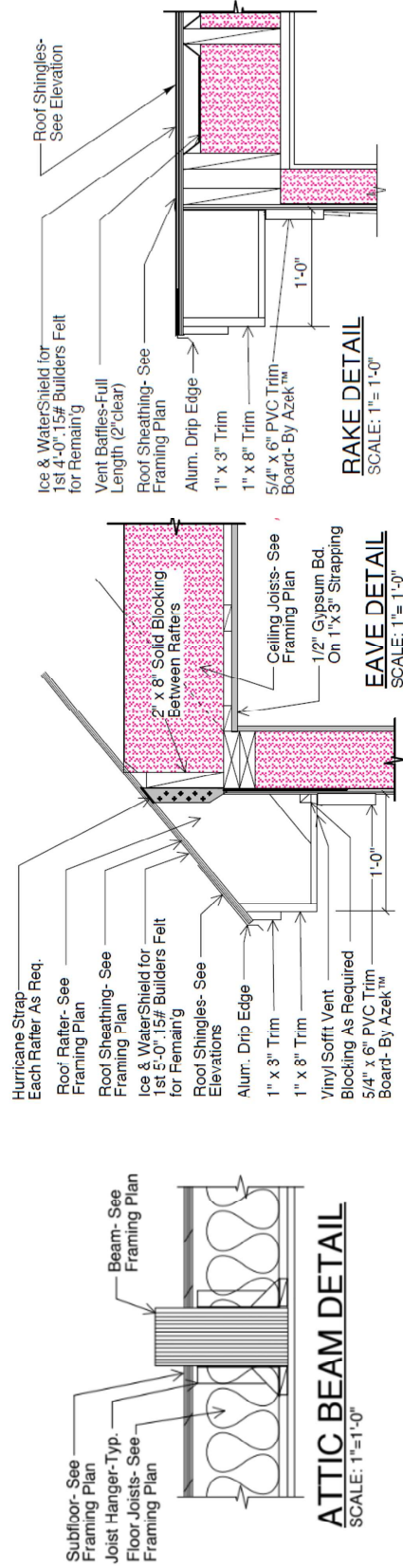
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ATTIC FRAMING

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ROOF FRAMING DEMO PLAN

SCMF: $1/\alpha^2 = 1'_{\infty} 0^{\circ}$ 

ATTIC BEAM DETAIL

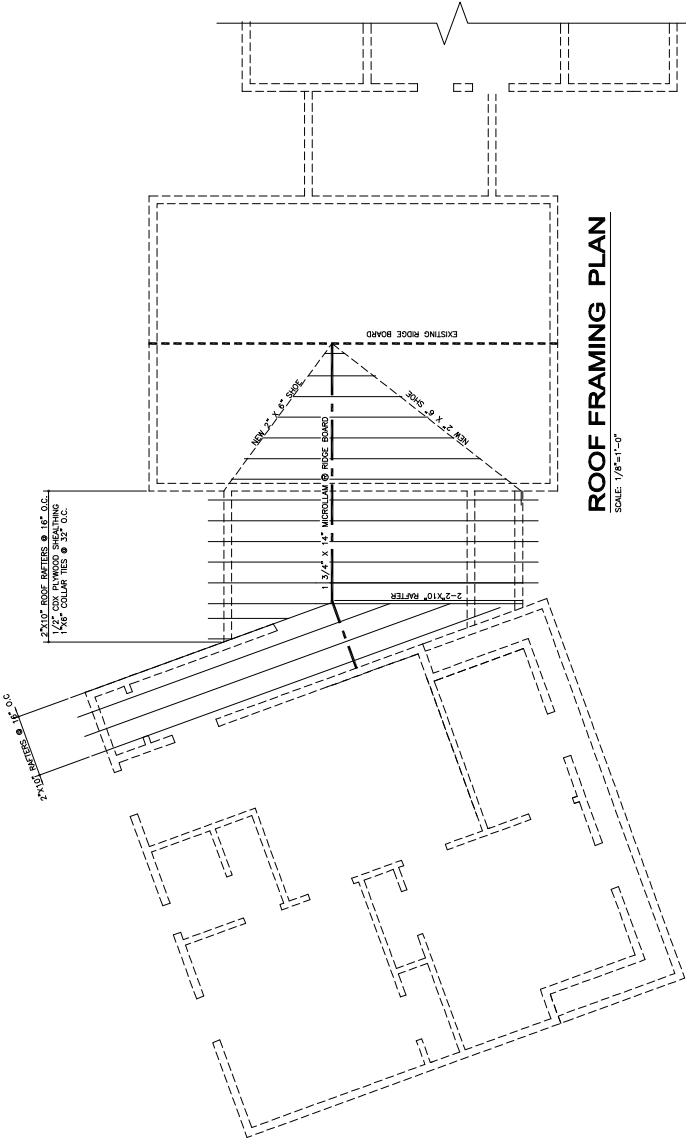
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RAKE DETAIL

SCALE: 1"= 1'-0"

SAVE DETAIL

SCALE: 1" = 11.0"

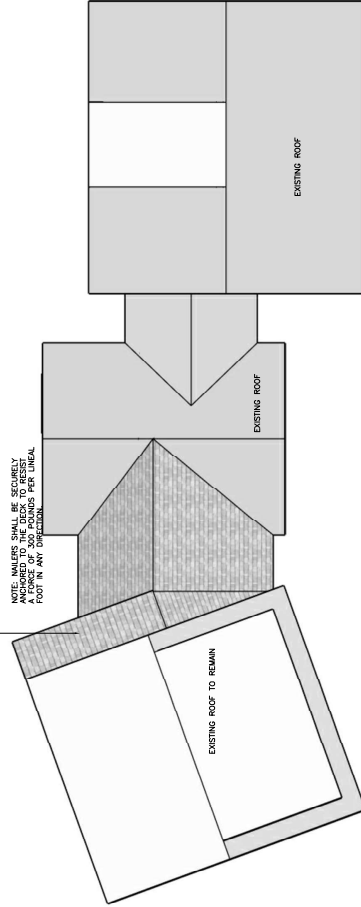


ROOF FRAMING PLAN

SCALE: 1/8"=1'-0"

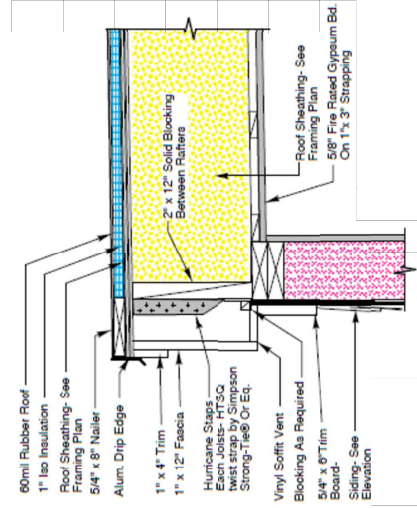
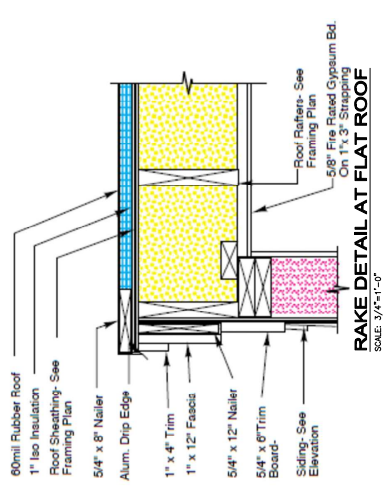
2" x 10' (16" O.C.) 1/2" CDX PLYWOOD OR EQ. INSTALL IN ACCORDANCE W/ UNIFORM CODE. 1/4" COLLAR TIES @ 32' O.C. SECURELY FASTENED. 1" POLYISOCYANURATE FOAM INSULATION (R-5) SECURELY FASTENED. JOISTS MANUFACTURED BY JOIST MANUFACTURING CO. OR EQ. INSTALL IN ACCORDANCE W/ ROOF JOIST MANUFACTURING CO. SPECIFICATIONS.

NOTE: ALL ROOFING SHALL BE SECURELY ANCHORED TO THE DECK TO RESIST UPLIFT. FASTENERS PER UFGA. FOOT IN ANY DIRECTION.



ROOF PLAN

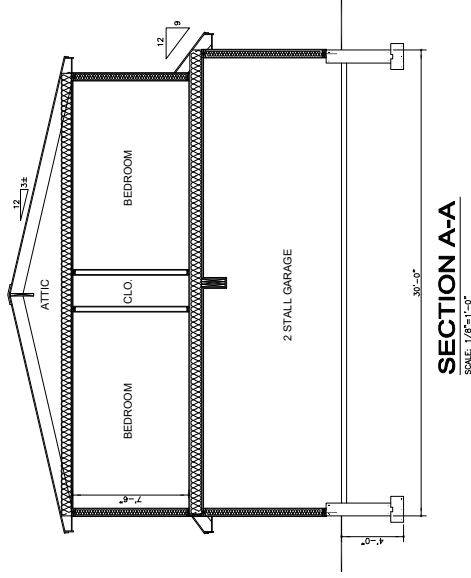
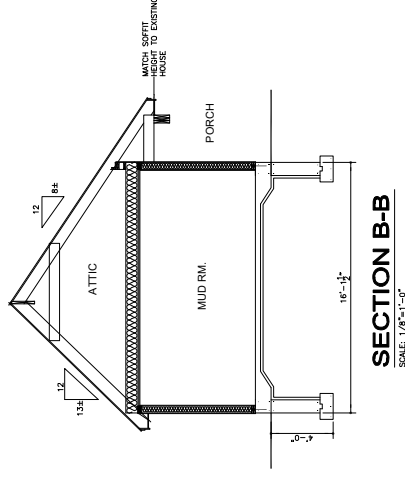
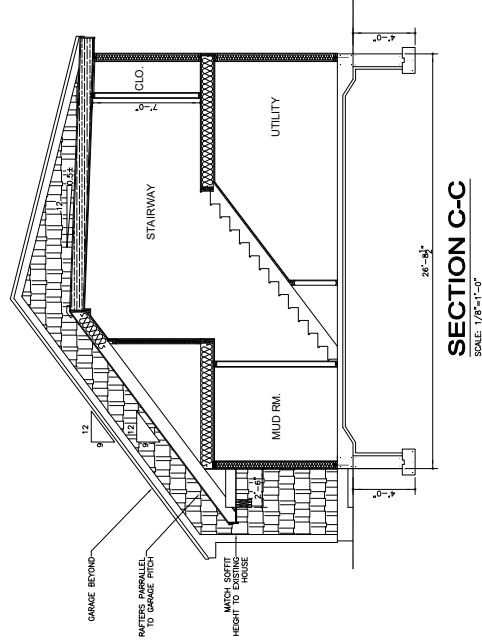
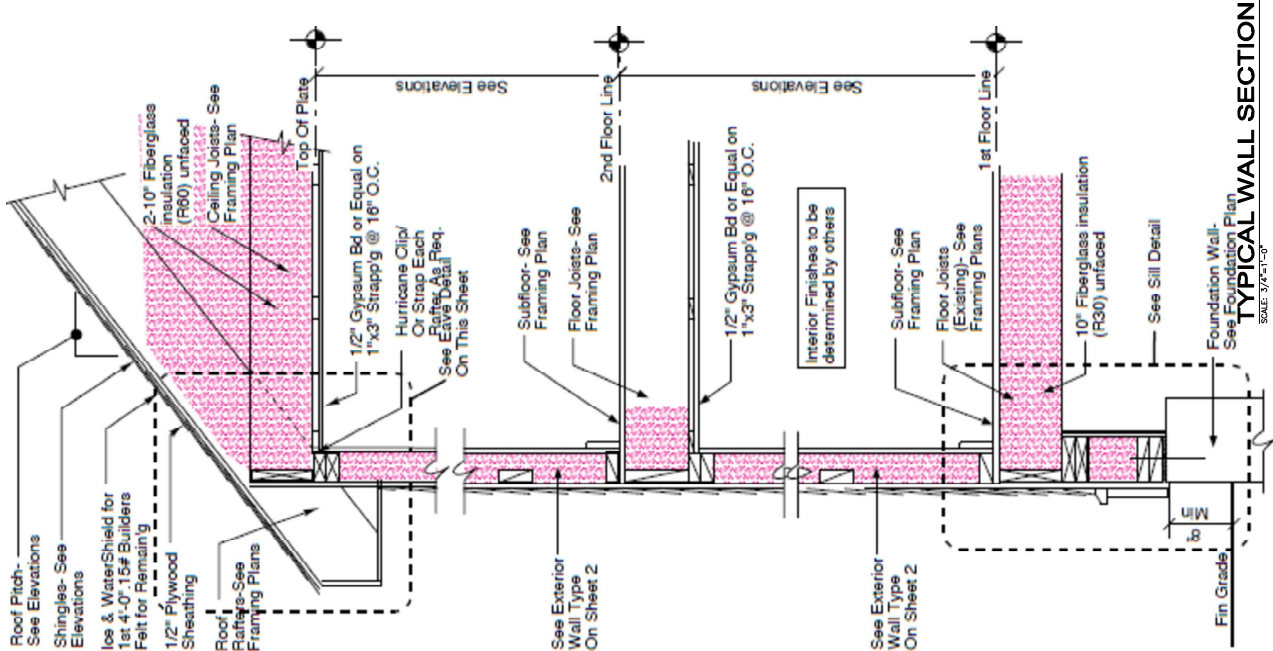
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EAVE DETAIL AT FLAT ROOF


SCALE: 3/4"=1'-0"

Project No.: 22088	Date: December 18, 2025	Drawn By: SD	Checked By: JJ	Project: ADDITION AND RENOVATION TO THE DESOUZA RESIDENCE 82 RIVER STREET ACTON, MASSACHUSETTS	Title: ROOF FRAMING PLAN NOTES & DETAILS		Sheet: 9	11
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Title: RENDERINGS		
Project: ADDITION AND RENOVATION TO THE DESOUZA RESIDENCE 82 RIVER STREET ACTON, MASSACHUSETTS		
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